

WHAT NEXT? FOLLOW THE PERMIT PROCESS BELOW:

SUBMIT COMPLETED PERMIT APPLICATION

Include necessary information: i.e. plans, plat of survey, work order, proposal, or estimate

PLANS AND DOCUMENTS REVIEWED

Applications involving new houses or garages, additions to an existing house, or impervious surfaces will have a plan and zoning review

IF APPROVED: NOTIFICATION

You will be notified when permit is ready, permit cost, and of refundable escrow. Payment is made when permit is issued.

WHEN ISSUED: BEGIN CONSTRUCTION

Schedule inspections of work as indicated on Required Inspection Sheet by calling Village.

FINAL INSPECTION, END PERMIT PROCESS

Call Village to schedule. Permit escrow will be refunded. Certificate of Occupancy needed for homes unoccupied during construction.

WANT TO LEARN MORE ABOUT DRAINAGE, GRADING, AND STORMWATER MANAGEMENT? CHECK OUT THESE WEBSITES:

- The EPA's site on stormwater
<https://www.epa.gov/npdes/npdes-stormwater-program>
- The EPA's site on green infrastructure
<https://www.epa.gov/green-infrastructure/what-green-infrastructure>
- Kenilworth's Stormwater Pollution Prevention Program Report
<http://www.villageofkenilworth.org/2205/Stormwater-Pollution-Prevention>
- Kenilworth 2023 Green Streets Program
<http://www.villageofkenilworth.org/2301/KW2023>
- Illinois Urban Manual
<http://www.aiswcd.org/illinois-urban-manual/>
- Metropolitan Water Reclamation District of Greater Chicago
<https://www.mwrd.org/irj/portal/anonymous/Home>

The Village of Kenilworth Drainage and Grading regulations can be found in Village Ordinance No. 1178 and will be codified in Sections 150.440 to 150.446 of the Kenilworth Village Code. These can be found on the Village's website:
<http://www.villageofkenilworth.org/>

DRAINAGE & GRADING

in KENILWORTH

With characteristically flat topography and clay soil, stormwater in Kenilworth tends to collect in shallow pools throughout the Village and then drain slowly. Existing drainage can be affected by a new project on a neighboring property. **Drainage and grading regulations** strike a balance between allowing improvements to private property and protecting surrounding properties.

WHY HAVE REGULATIONS?

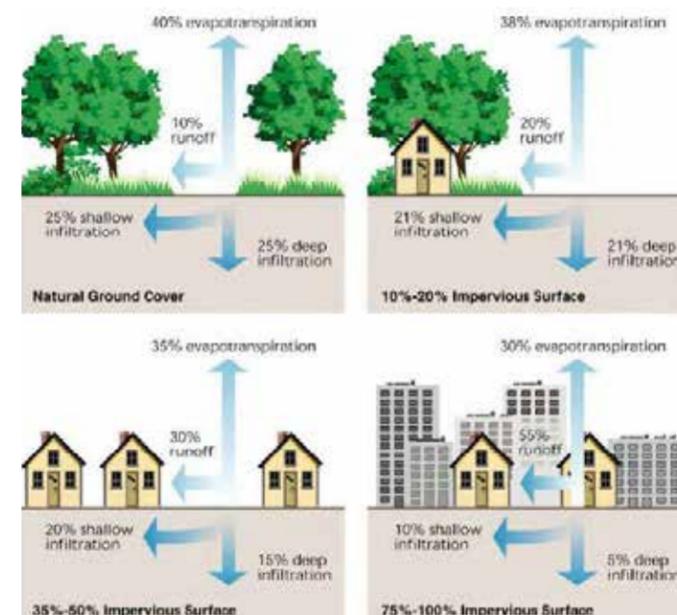
Drainage and grading regulations are used to mitigate the impact of development, construction, and landscaping projects on stormwater runoff. These projects tend to increase, concentrate, obstruct, or change the direction of the runoff. All of these changes can have negative impacts (flooding, erosion, etc.) on neighboring properties.

WHY IS GROUND COVER IMPORTANT?

Ground cover can be pervious or impervious, both affecting the amount of stormwater runoff from a property. Pervious surfaces, like a lawn, soak up stormwater, whereas impervious surfaces, such as a building or conventional pavement sidewalk or driveway do not. Impervious surfaces also tend to concentrate stormwater runoff in places where it would otherwise be dispersed, leading to standing water or flooding.

WHAT SHOULD I KNOW ABOUT SLOPES?

Elevated new homes and other improvements (planting beds, berms, etc.) create new slopes. However, while higher elevations may be attractive and move water away from a site, they can also impact adjacent properties.



The diagram illustrates how increasing the amount of impervious surfaces increases the amount of runoff. (Source: Federal Interagency SRWG)



Example of a site that has been elevated



The Village of Kenilworth worked with the consultant team of Teska Associates, Inc. and Baxter & Woodman to prepare its drainage and grading regulations.



DO I NEED A DRAINAGE AND GRADING PERMIT? IT DEPENDS ON YOUR PROJECT. IF IT'S...

A retaining wall, deck, patio, shed, garage, sidewalk, driveway, house addition, or new house

■ Yes, you need a permit if: it disturbs 200 sq. ft. or more of the ground surface, increases the ground elevation, or causes an obstruction or change in the direction or location of stormwater runoff from a property.



Retaining wall



Shed, garage, or driveway



Deck or sidewalk



Patio with erosion control blanket

Helpful Hint: A permit is required if the project disturbs less than 200 sq. ft. but is part of a larger common project that as a whole disturbs 200 sq. ft. or more.



Helpful Hint: A permit is required if gardening involves raised plantings or mulch beds, it causes an increase in ground elevation and an obstruction to stormwater flow.



OR IF IT INVOLVES...

Yard maintenance

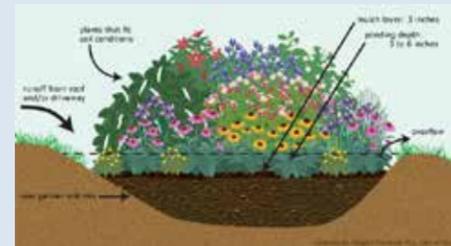
■ No permit is required. Maintenance activities include:

- | | |
|-----------------------------------|-------------------------------------|
| Mowing | Weed control |
| Tree Trimming and Pruning | Fertilization |
| Edging | Compost |
| Mulching | Pruning of trees/shrubs/groundcover |
| Turf management | Pond maintenance |
| Sod | |
| Removing dead or dying vegetation | |

Gardening

■ No permit is required. Gardening activities include:

- | | |
|-------------------|---------------|
| Rock gardens | Planting beds |
| Vegetable gardens | Bushes |
| Rain gardens | Trees |
| Pots, annuals | |



Rain garden diagram
(Source: City of Durham)

Helpful Hint: A permit is required if you are filling low-lying areas or excavating high ground to allow drainage as it increases the ground surface elevation.

Root systems of prairie plants are an example of how to reduce soil erosion and increase water absorption.
(Source: Natural Resources Conservation Service Illinois)



Changing discharge direction of downspout

■ No permit is required, but it can't increase the property's stormwater runoff. Downspouts include:

- Roof downspouts
- Sump pump discharges



Downspout extension that creates a concentrated discharge near the property line

Helpful Hint: A permit is required if a yard drain or swale changes the direction or location of stormwater runoff from a property.

Helpful Hint: A permit is required if the activity obstructs the flow of stormwater runoff or causes a change in the direction or location of stormwater runoff from any property.